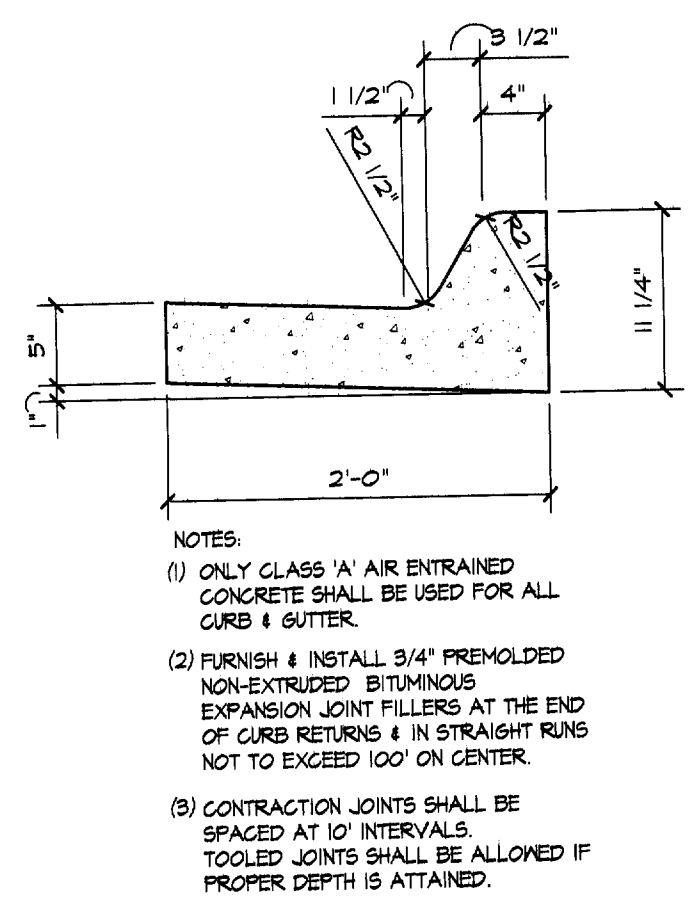
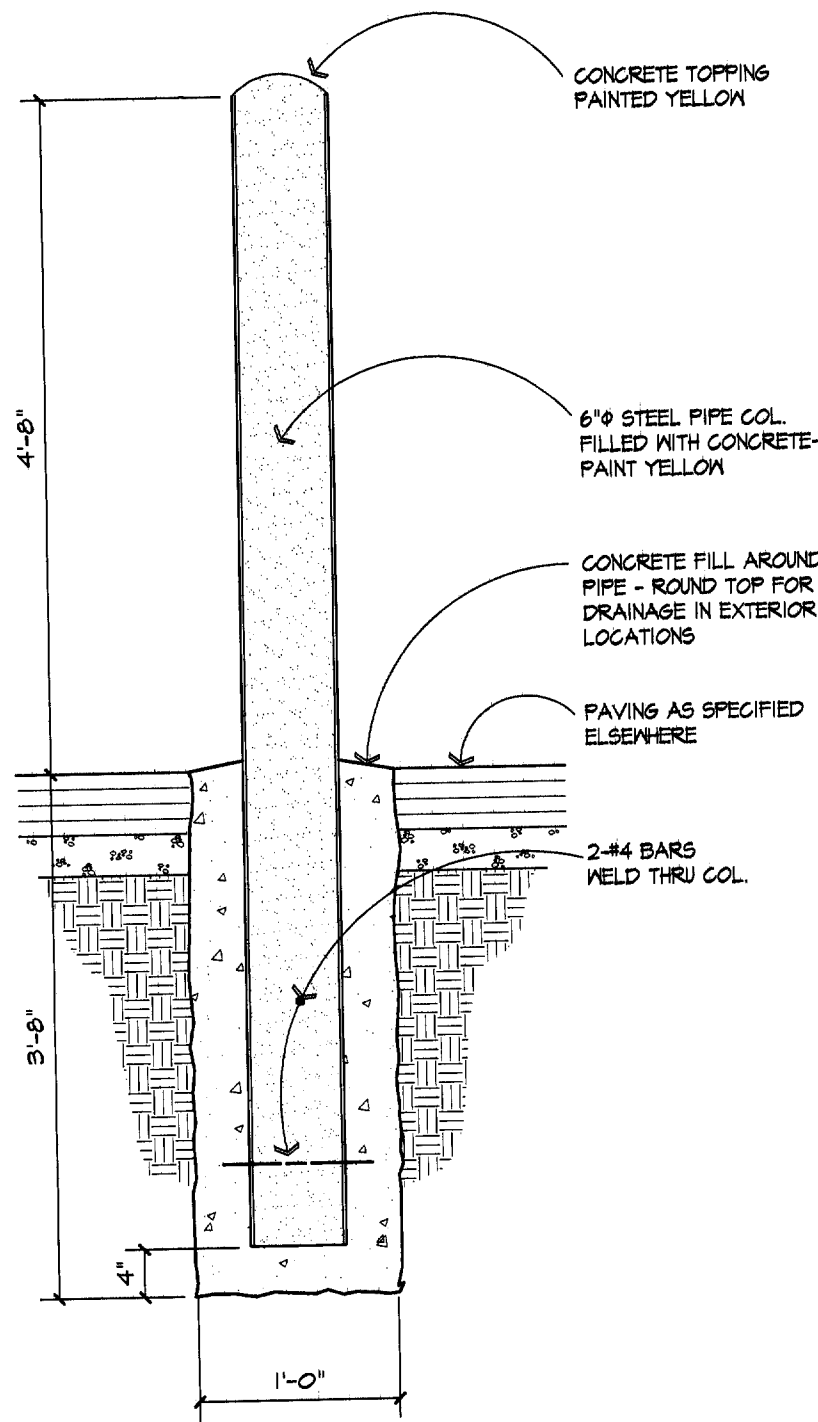


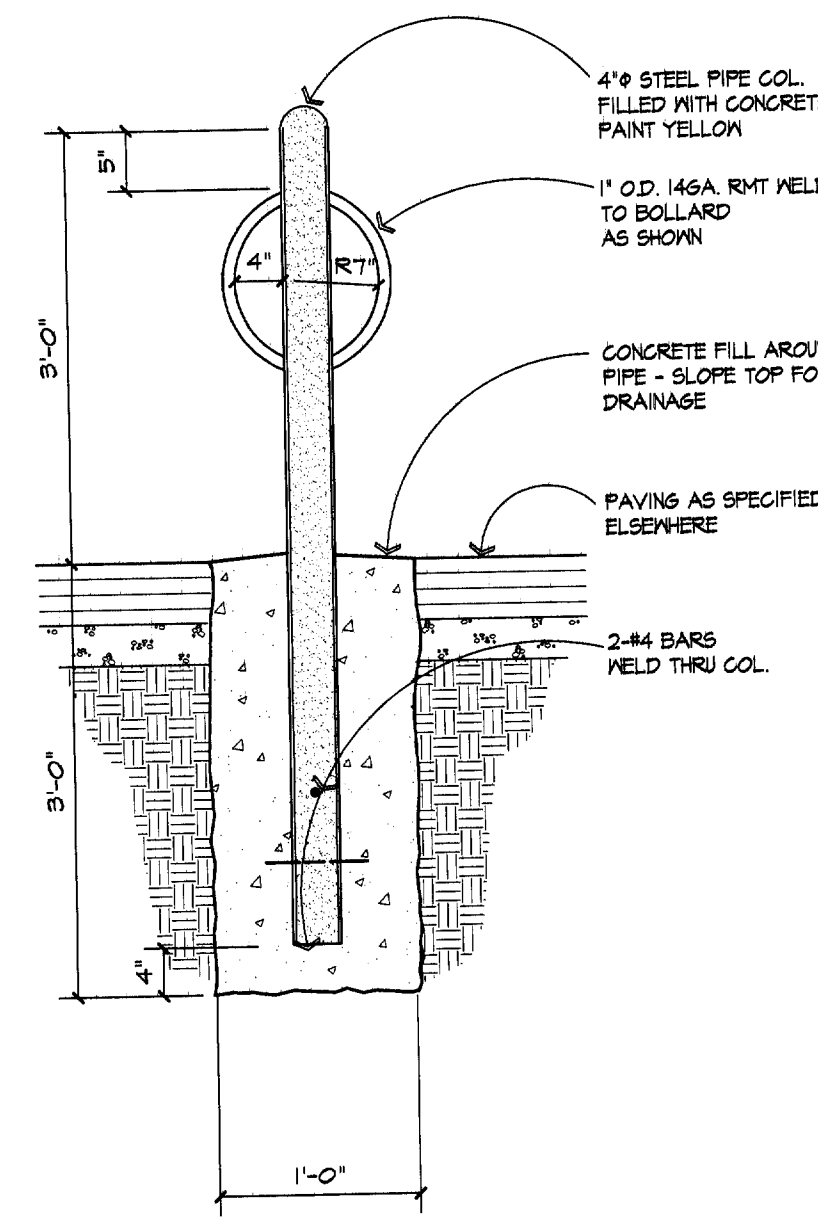
D3 TYPICAL TRASH SCREEN FENCE DETAIL
3/4" = 1'-0"



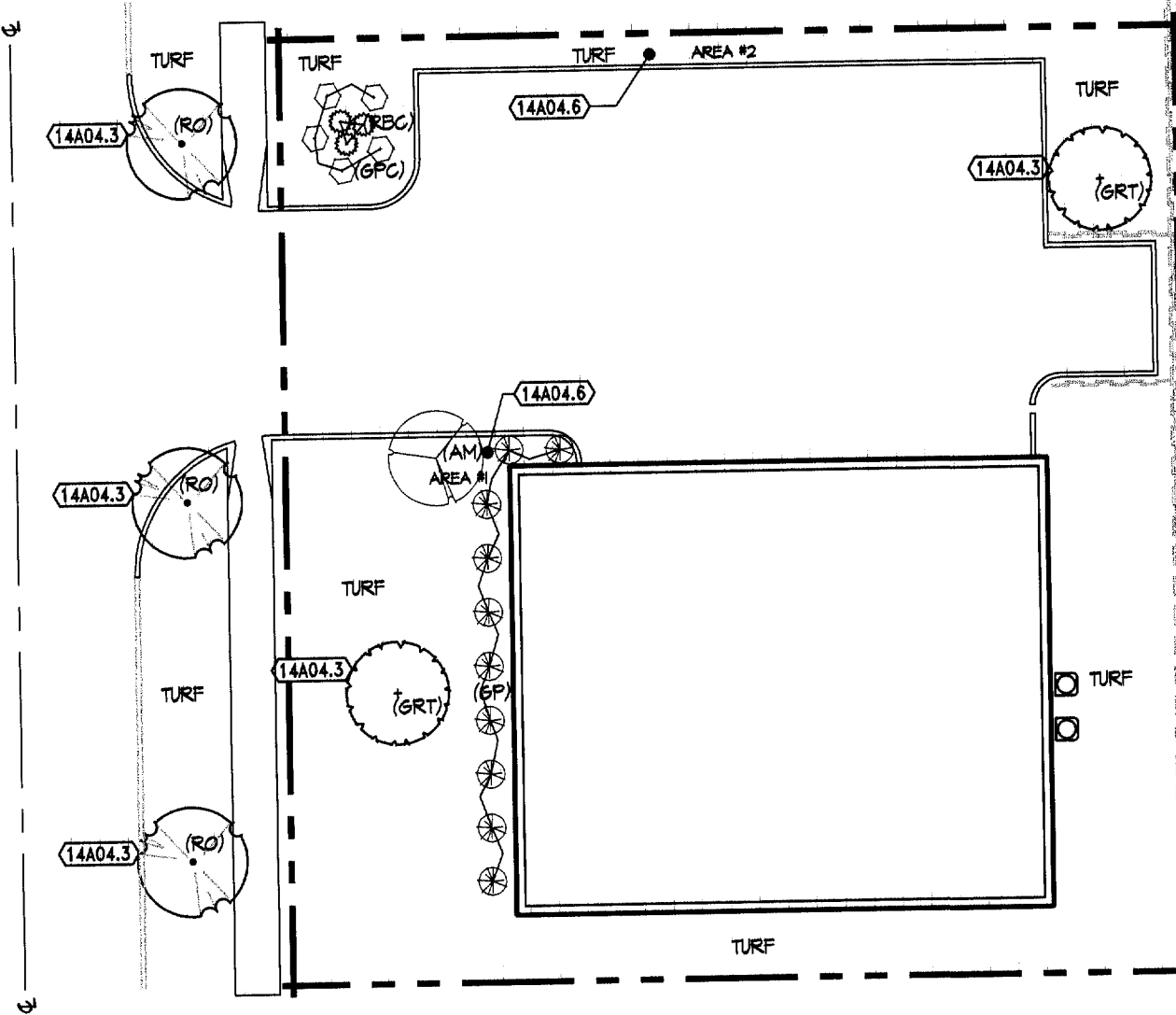
D1 TYPE I CURB & GUTTER
1" = 1'-0"



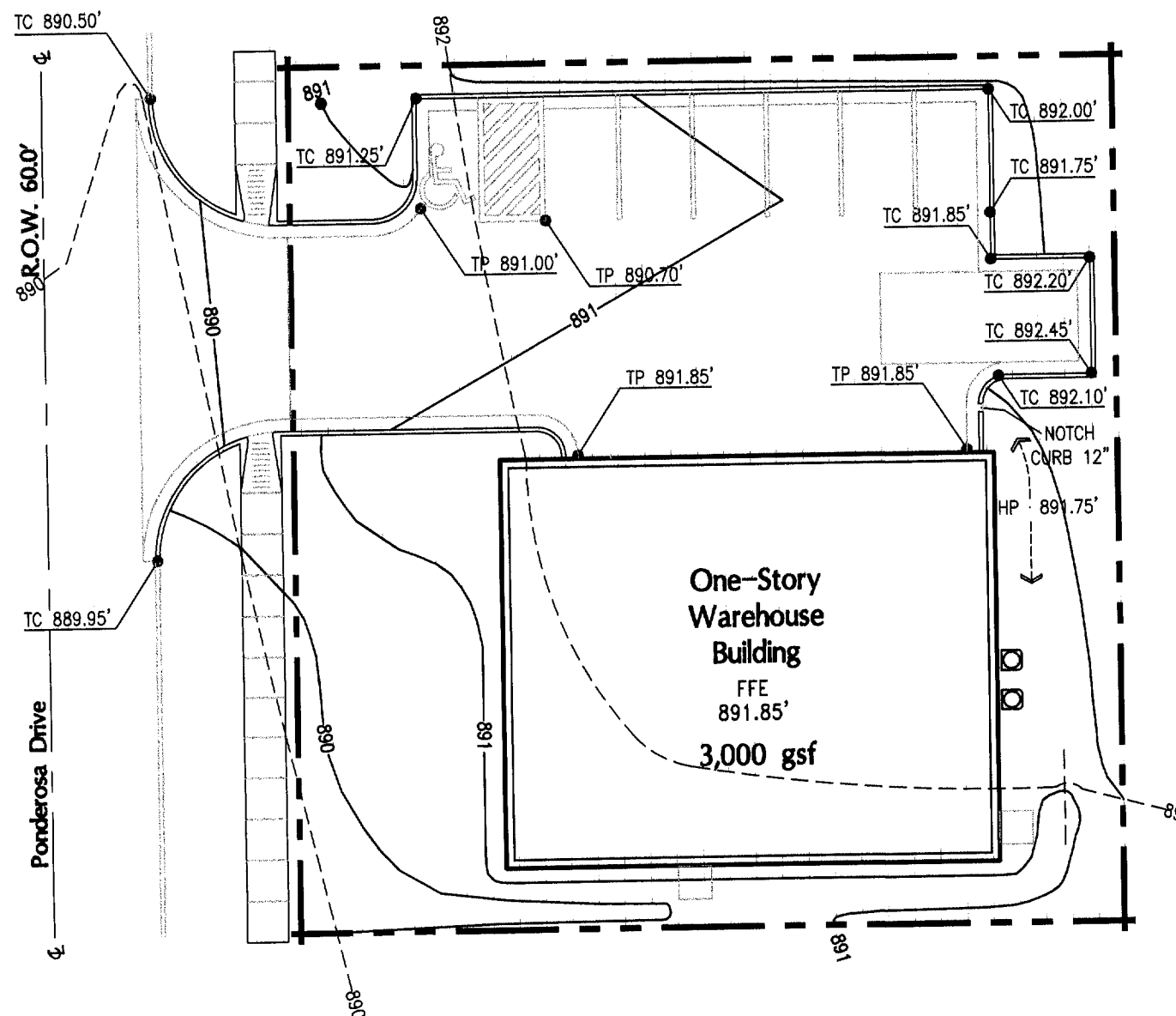
C3 TYPICAL BOLLARD DETAIL
3/4" = 1'-0"



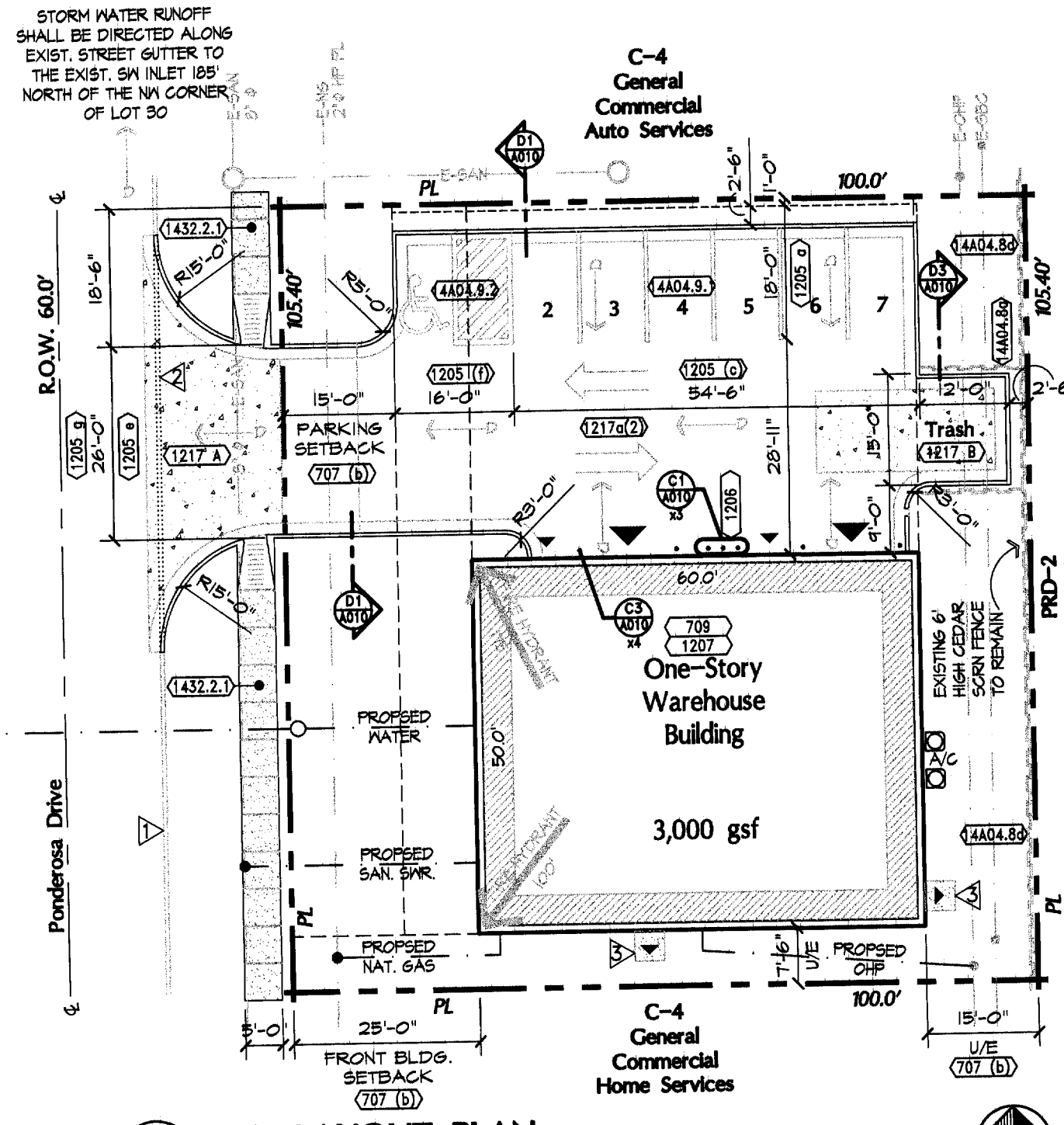
C1 TYPICAL BIKE RACK
3/4" = 1'-0"



B5 LANDSCAPING PLAN
1" = 20.0'



B3 GRADING PLAN
1" = 20.0'



B1 SITE LAYOUT PLAN
1" = 20.0'

Legal Description		
Lots 29 & 30 Commerce Park East Subdivision, an addition to the City of Lawrence, Douglas County, Kansas. Containing +/- 10,540 gross square feet or 0.24 acres.		
Zoning Requirements & Compliance		
(707.10) 20-707(b) DISTRICT STANDARDS/TABLE III	Required	Proposed
Zoning	C-4 General Commercial	C-4 General Commercial
Lot Area	5,000sf	10,540sf
Lot Width	50'	108.40'
Lot Depth	100'	100'
Minimum Yards		
Front	25'	25'
Rear	12'	15'
Interior	0'	0'/7.5'
Parking	15'	15'
Stories	4	1
Height	45'	18'
20-709 ALLOWED USE/TABLE IV		
20-709 C-4 GENERAL COMMERCIAL DISTRICT		
20-709.12 Use Group 14: RETAIL-WHOLESALE SALES AND SERVICE		
1. Contractor or construction offices and shops		
20-9A FLOODPLAIN & STORMWATER MANAGEMENT		
Storm water Management Criteria		
1.8 E.2. These requirements apply to all developments except the following:		
d. Improvements on any site having a gross land area of one-half acre or less, regardless of land use, shall be exempt from providing on-site detention facilities.		
= direction of storm water run-off		
Impervious Surfaces	Existing	Proposed
Building	0 GSF	3,000 GSF
Pavement	0	3,582 GSF
Turf	10,540 GSF	3,858 GSF
		18,445 GSF
20-1205 OFF-STREET LOADING & PARKING REQUIREMENTS		
SIZE		
(a) Standard Car & Truck Requirements		
Angle	Stall Depth	Stall
90	25'	25'
(b) Compact Car & Truck Requirements		
Angle	Stall Depth	Stall
90	18.5'	25'
(c) Standard car minimum width:		9.0'
(d) Compact car minimum width:		7.5'
(e) Minimum width one-way drive:		12.0'
(f) Minimum width two-way drive:		25.0'
(g) Minimum accessible parking spaces		
Total	Minimum	
Spaces	Required	
1-25	1	
(h) Minimum standards for driveway entrances to parking areas		
(1) Thirty foot maximum driveway width		
(2) The curb radius return shall not extend beyond the property line.		
(3) Driveway curb cuts along major arterial streets shall not be allowed closer than 30 feet between throats of the drives.		
20-1206 BICYCLE PARKING AREA		
Each bicycle parking space shall provide for a secure method of locking a bicycle.		
A minimum of 5 bicycle parking spaces shall be provided. REF: Detail C1/A010		
20-1207 FLOOR AREA DEFINED		
Building	3,000 gsf	
Non-Public Accessible	2,400 gsf	
Net Public Accessible	600 gsf	
Total Provided:	6	
Full Size	0	
Compact	0	
Universal Accessible	1	
Total Provided:	7	
20-1215 MARKINGS & BARRIERS		
The perimeter of the parking lot shall be curbed as per Detail D1/A010		
20-1217 SURFACING		
(a) All off-street parking areas shall be surfaced in accordance with City Standards as follows:		
(1) Four (4) inches of 4000 psi concrete reinforced with 6x6, W1.4 x W1.4 WVF.		
(1) Existing 4" reinforced concrete to remain to extent shown		
(2) Five (5) inches of granular rock base with two (2) inches of asphalt overlay.		
(1) Existing asphalt paving to remain to extent shown		
(A) Six (6) inches of 4000 psi concrete reinforced with 6x6, W2.5 x W2.5 WVF.		
(1) Existing 5" reinforced concrete to remain to extent shown		
(B) Five (5) inches of 4000 psi concrete reinforced with 6x6, W1.4 x W1.4 WVF.		
(1) Existing 6" reinforced concrete to remain to extent shown		
20-1432.2 SIDEWALKS		
1. Furnish & install five (5) foot wide x 4" thick concrete sidewalk reinforced with 6x6, W1.4 x W1.4 WVF. Provide ramps at all points that terminate at driveways or street intersections in accordance with 4.8 of the Americans With Disabilities Guidelines & City Standard Detail.		
2. Existing five (5) foot wide concrete sidewalk to remain. Provide ramps at all points that terminate at driveways or street intersections in accordance with 4.8 of the Americans With Disabilities Guidelines & City Standard Detail.		
20-14A02 PHOTOMETRIC PLAN		
No outdoor lighting fixtures are proposed for this project.		
20-14A04.2 LANDSCAPING REQUIRED		
Symbol	Name	Size
RD	Red Oak	2" caliper
GRT	Golden Rain Tree	2" caliper
AM	Amur Maple	2" caliper
GP	Golden Privet	2 gal.
RBC	Ruby Coronet Barberry	2 gal.
GFC	Gnome Pyracantha	2 gal.
Quantity	Package	
3	b&b	
2	b&b	
1	b&b	
10	container	
3	container	
5	container	
20-14A04.3 MINIMUM TREE REQUIREMENTS		
Street Trees		
Street Frontage: 105.4' x 40' = 2.6 (5) trees provided		
(3) 3,858 sf + 3,000 sf = 1.3 (2) trees provided		
Open Space Factor		
(1) 7 spaces x 250 sf/space x 15k = 264 sf required		
(a) (Area 1=54 sf) + (Area 2= 247 sf) = 301 sf provided		
20-14A04.6 SCREENING REQUIREMENTS		
(a) Trash enclosure shall be screened with a 6' cedar fence in layout shown per Detail D3/A010 & in accordance with Sanitation Dept. Standards for enclosures.		
(b) Ground mounted mechanical & utility equipment shall be screened from public view with landscaping or with architectural treatment compatible with building.		
(c) All rooftop mounted equipment shall be screened from public view or any street right-of-way.		
(d) All off-street parking areas containing (5) or more vehicles shall be effectively screened on each side that adjoins . . . any residential district . . . with a continuous view-reducing wood fence.		
20-14A04.9 MARKINGS & BARRIERS		
1. Provide 6" wide (min.) yellow or white stripes on pavement defining each parking stall as shown.		
2. Assestle spaces shall be designated reserved by stencil on paving surface and by a sign mounted 60"-72" above paving surface. Stencil & sign shall both incorporate the symbol of accessibility as defined in 4.30.7 of the ADA Accessibility Guidelines for Buildings & Facilities.		
Disclaimers & Keynotes		
Americans With Disabilities Act Compliance		
This project has been designed to comply with the ADA Act Accessibility Guidelines for Buildings & Facilities (ADAAG). The Architect has used reasonable professional efforts to interpret & comply with applicable ADAAG requirements as they relate to this document. However, since the requirements of the ADAAG are subject to various and possibly contradictory interpretations, the Architect cannot and does not warrant or guarantee that this document will comply with all interpretations that may occur and revisions may be required to comply with those interpretations.		
Sanitation Vehicle Hold Harmless Agreement		
The Owner of this property agrees to hold the City of Lawrence harmless for damage done to the pavement around the trash enclosure which may occur as a result of sanitation vehicles performing normal collection services.		
Utilities		
The utility locations/sizes/types shown on this document are for general reference only. The Owner or Owner's agent shall be responsible for contacting the utility location service(s) for exact location/sizes/types.		
Traffic Control Signage		
All traffic control signage placed on private property open to the public shall comply with the Manual on Uniform Traffic Control Devices & Standard Highway Signs published by the Federal Highway Administration with respect to size, shape, color, retroreflectivity & position.		
Photometric Plan		
Section 20-14A02 of the Zoning Ordinance requires approval of a photometric plan prior to placement of any exterior lighting fixtures.		
Trash Enclosure		
Trash enclosure constructed within the utility easement may be required to be removed & replaced at the Owner's expense of utility company request.		
Existing concrete curb & gutter to remain as shown.		
Remove existing concrete curb & gutter as shown.		
F&I 4"x4"x4" concrete stop reinf. w/ 6x6, W1.4xW1.4 WVF		

Belot/Hartnoff Associates, LLC
Architects & Planners
708 W. 9th Street, Suite 205
Lawrence, KS 66044
Tel 785.843.4670 / Fax 843.4642
801 Main Street, Suite 300
Lawrence, KS 66044
Tel 785.843.4670 / Fax 843.4679

WAREHOUSE BUILDING
2406 Ponderosa Drive
Lawrence, Kansas

PROJECT # 0321
DATE 01.27.04
DRAWN BY:
CHECKED BY:
REVISIONS: 04.22.04

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SITE LAYOUT, GRADING & LANDSCAPE PLANS

Sheet

A010

1 of 1 Sheets