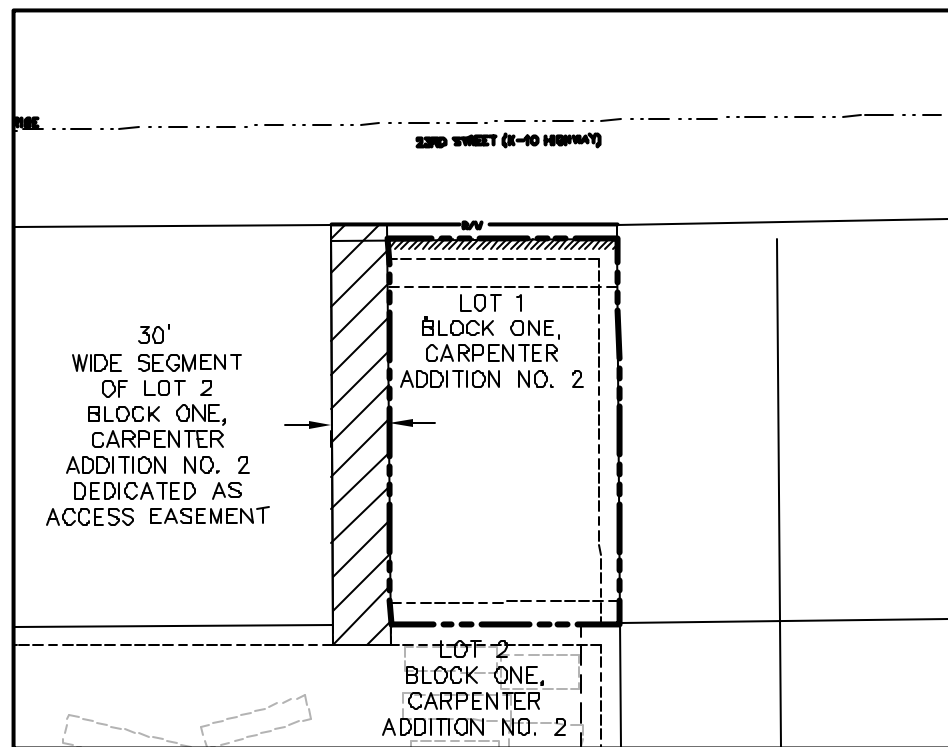
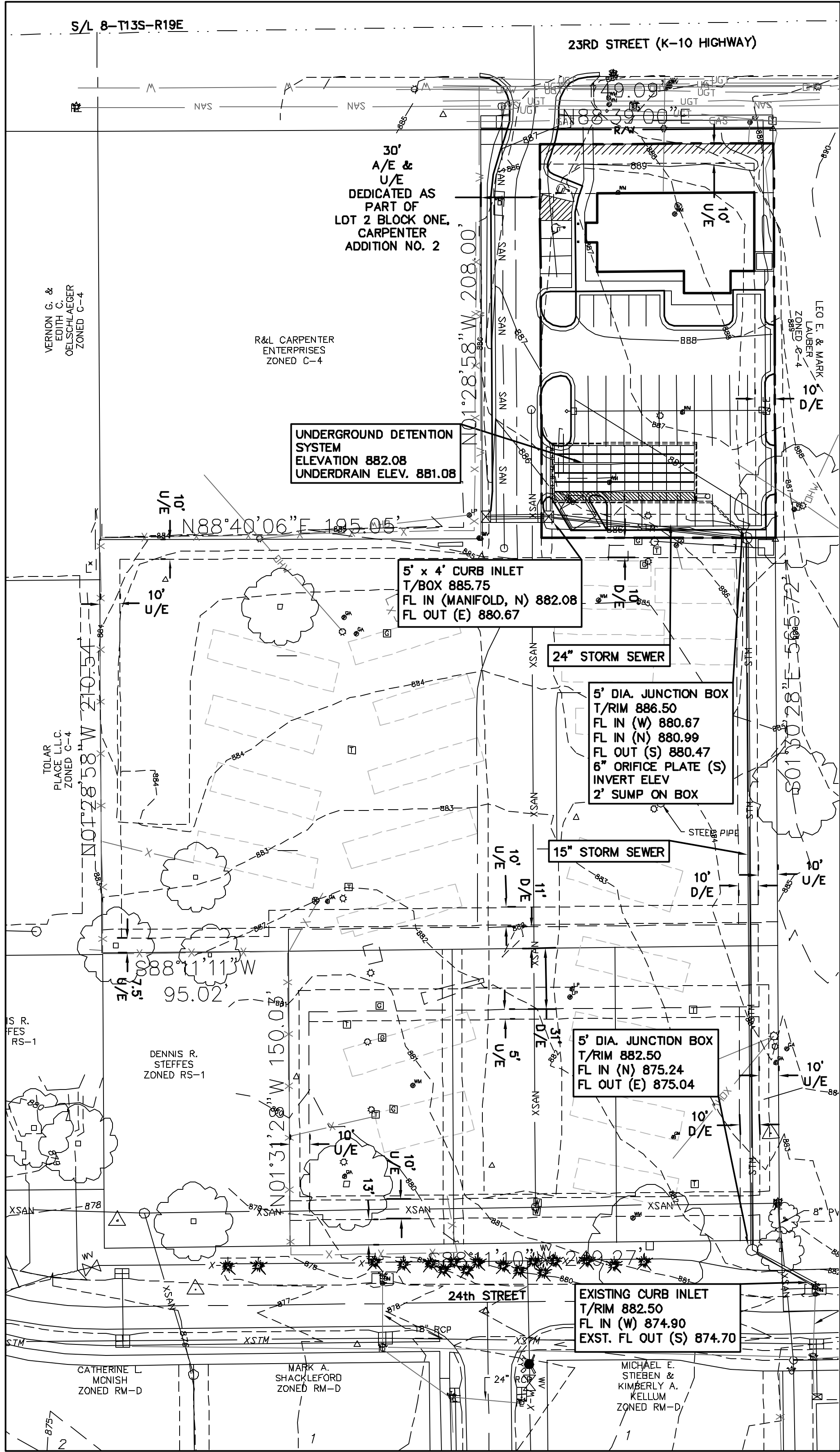
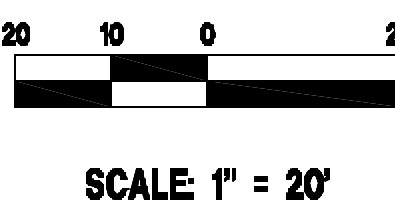
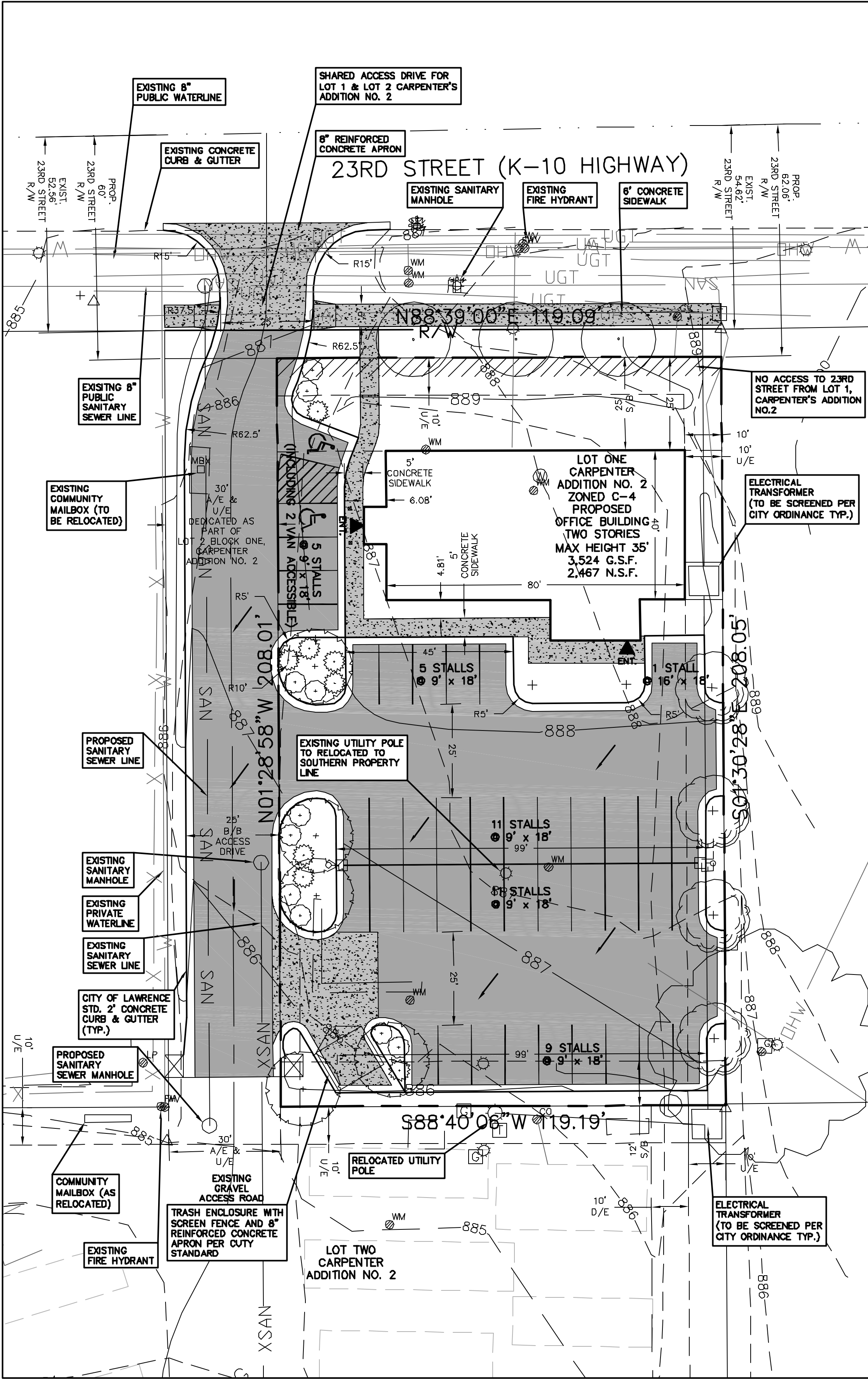


SITE SUMMARY

THE DATA WITHIN THE FOLLOWING TABLE REPRESENTS THE PROPOSED TOTAL QUANTITIES IN THE DEVELOPMENT AND PROPOSED FUTURE ADDITIONS.

Lot 1		Area (Sq. Ft.)	Area (Sq. Ft.)	
Existing Buildings		7,090	Proposed Buildings	3,524
Existing Pavement	(existing surface is gravel) 0		Proposed Pavement	14,673
Existing Impervious	Subtotal:	7,090	Proposed Impervious	Subtotal:
Existing Pervious		17,694	Proposed Pervious	5,701
Property Area		24,784		23,898

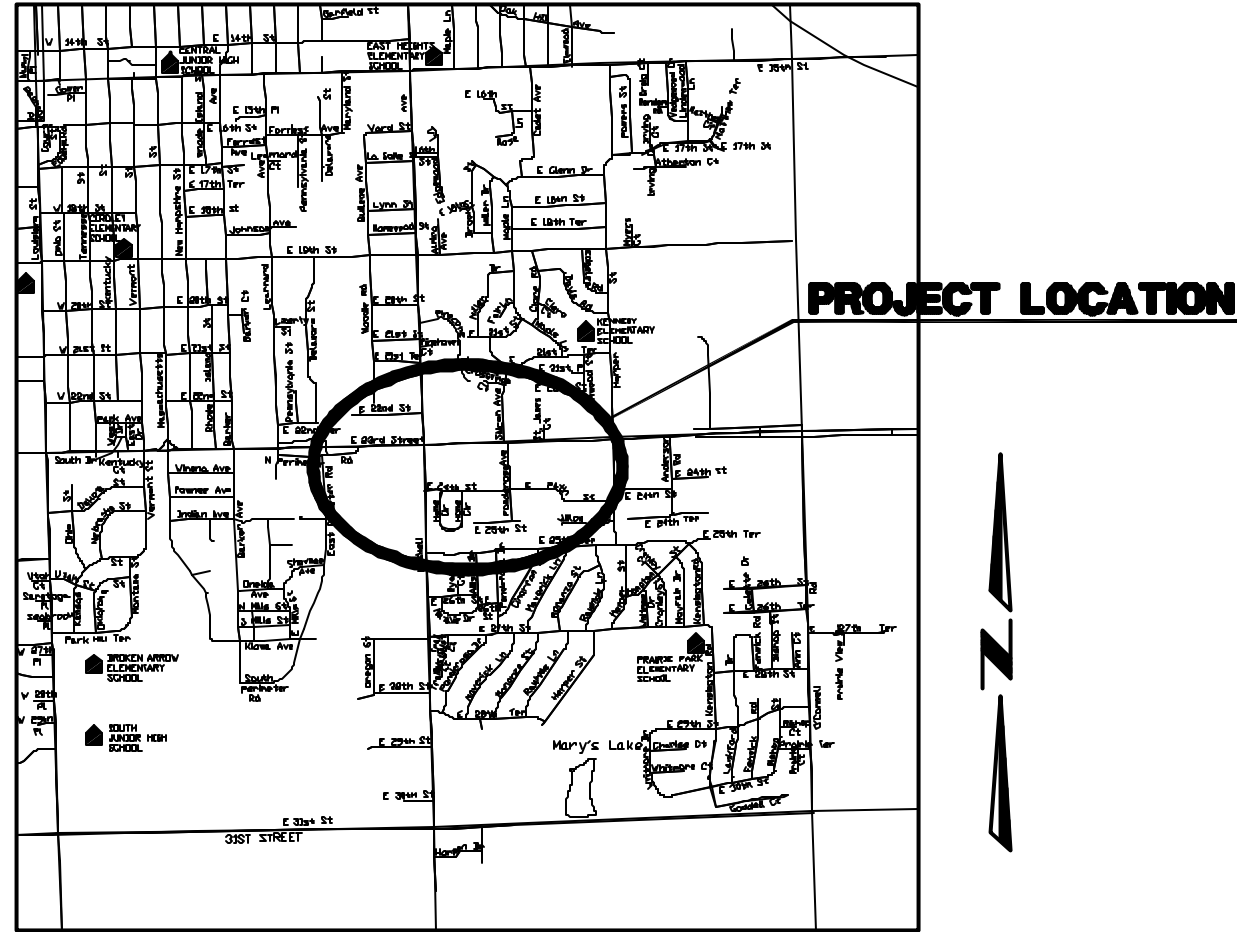
INTERIOR GREENSPACE:
REQUIRED = NUMBER OF STALLS x 280 x 15% (OR .15) = REQUIRED INTERIOR GREENSPACE
42 x 280 x .15 = 1,764 S.F. OF INTERIOR GREENSPACE
PROVIDED = 2,391 S.F. INTERIOR GREENSPACE PROVIDED



BENCHMARKS:

1. "O" CHISELED S.W. CORNER CURB INLET @ N.E. CORNER OF 25TH TERRACE AND HASKELL AV. ELEV. = 876.11
2. "O" CHISELED N. END OF RETAINING WALL JUST S. OF DRIVE INTO TOLAR CABINETS. ELEV. = 879.01

LOCATION MAP



LEGAL DESCRIPTION

LOT ONE, BLOCK ONE CARPENTER ADDITION NO. 2

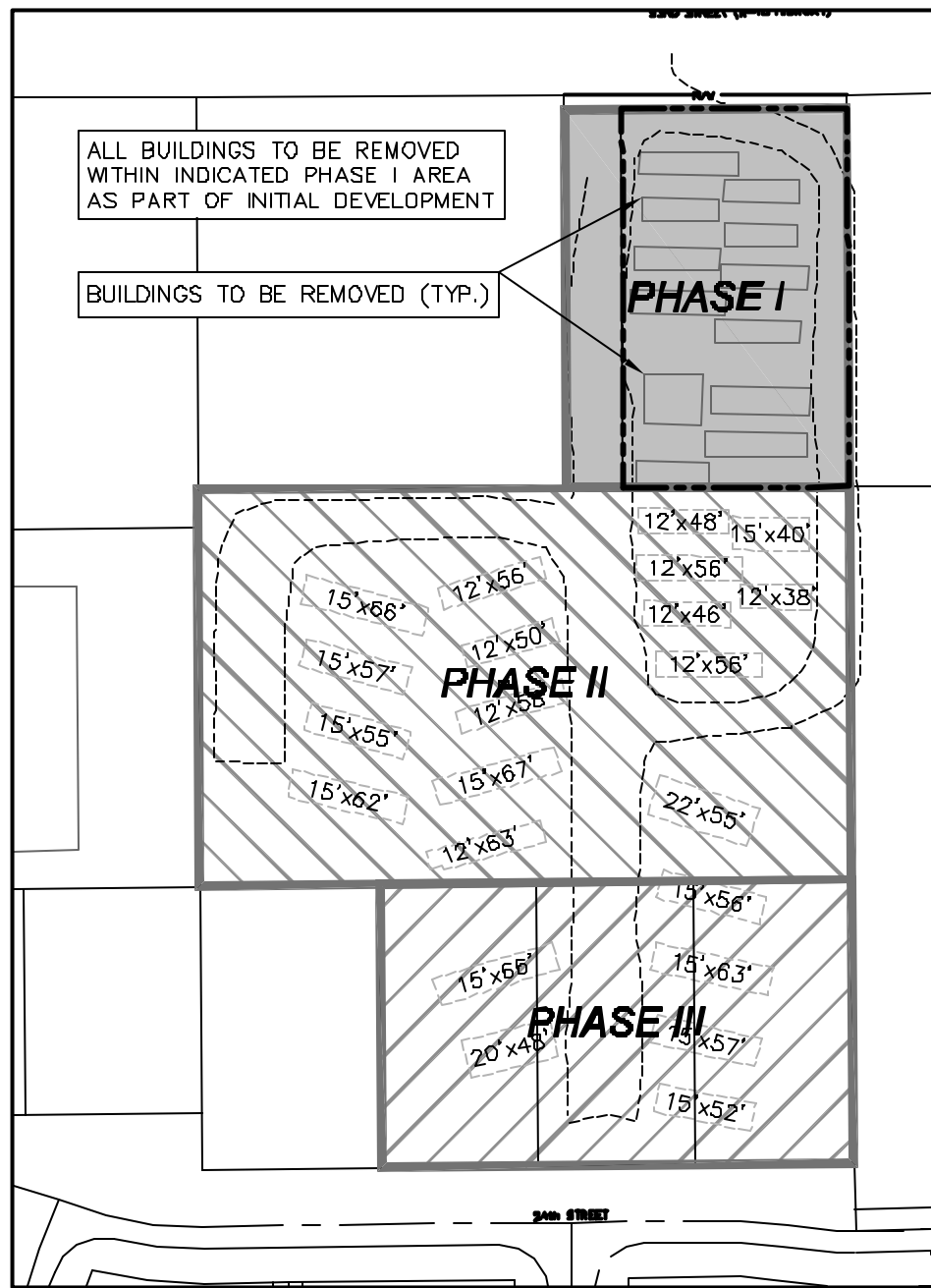
GENERAL NOTES

1. EXISTING ZONING: C-4
2. CURRENT USE: MOBILE HOME PARK
3. PROPOSED USE: OFFICE
4. TOPOGRAPHIC INFORMATION OBTAINED FROM AN AERIAL SURVEY PERFORMED BY M.J. HARDEN ASSOCIATES, 2002.
5. BUILDING INFORMATION:
PROPOSED: 3,524 G.S.F.
2,467 N.S.F.
6. PARKING INFORMATION:
C-4 PROFESSIONAL OFFICES, USE GROUP 13
1 STALL PER 300 N.S.F.
8 STALLS REQUIRED
PROVIDED: 42 SPACES (INCL 2 ACCESSIBLE)
7. PROPOSED DRIVE AND PARKING AREAS TO HAVE CONCRETE 24" CURB AND GUTTER TO MEET CITY OF LAWRENCE STANDARDS. ASPHALT PAVEMENT SHALL MEET OR EXCEED CITY OF LAWRENCE MINIMUM STANDARDS.
8. PROPOSED CONCRETE PAVEMENT TO BE 8" PORTLAND REINFORCED CONCRETE ON COMPACTED SUBGRADE UNLESS OTHERWISE SHOWN.
9. WALL MOUNTED LIGHTING SHALL BE LOCATED AT BUILDING ENTRANCES. ALL LIGHTING SHALL BE SHIELDED TO PREVENT GLARE OFF-SITE.
10. THE CITY OF LAWRENCE SHALL NOT BE RESPONSIBLE FOR DAMAGE TO PAVEMENT DUE TO THE WEIGHT OF REFUSE VEHICLES.
11. THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDING AND FACILITIES, APPENDIX A TO 28 CFR PART 36.
12. ACCESSIBLE SPACES ARE TO BE SIGNED AND STENCILED PER ORDINANCE 20-1205-F. ALL TRAFFIC CONTROL SIGNS PLACED ON PRIVATE PROPERTY OPEN TO THE PUBLIC SHALL COMPLY WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES"

LANDSCAPE SCHEDULE PHASING PLAN

SYM.	QUAN.	NAME	SIZE	COND.
TREES				
3	3	AUTUMN PURPLE ASH Fraxinus americana 'Autumn Purple'	2" - 2-1/2" O.L.	888
4	4	RED MAPLE Acer rubrum 'Red Sentinel'	2" - 2-1/2" O.L.	888
5	5	EASTERN REDBUD Cercis canadensis	1-1/2" - 2" O.L.	888 MULTI-STEM
SHRUBS				
10	10	DWARF BURNING BUSH Euonymus alatus 'Compactus'	24"-30" HT.	CONT.
8	8	ANDROMEDA JUNIPER Juniperus horizontalis	18"-24" SPR.	CONT.

- * BARK CHIP MULCH TO BE INSTALLED IN AREAS WITHIN PLANTING BEDS
- * TURF AREAS TO BE SEEDED WITH K-31 FESCUE BLEND OR SODDED PER DIRECTION OF OWNER



SITE PLAN MIDYETT OFFICES

Civil Engineering
Landscape Architecture
Community Planning
Surveying

Landplan Engineering, P.A.
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REVISIONS	
12-29-04 per city comments	
02-03-05 revised building layout	

DATE: 11.16.04
PROJECT NO.: 2004.667.12
DRAWING ID: 04667-pp-glo
DESIGNED BY: CLM
DRAWN BY: BRM
CHECKED BY: CLM

SHEET NO.
1 OF 1 SHEETS

A Site Plan for
**MIDYETT
OFFICES**
Lawrence, Kansas