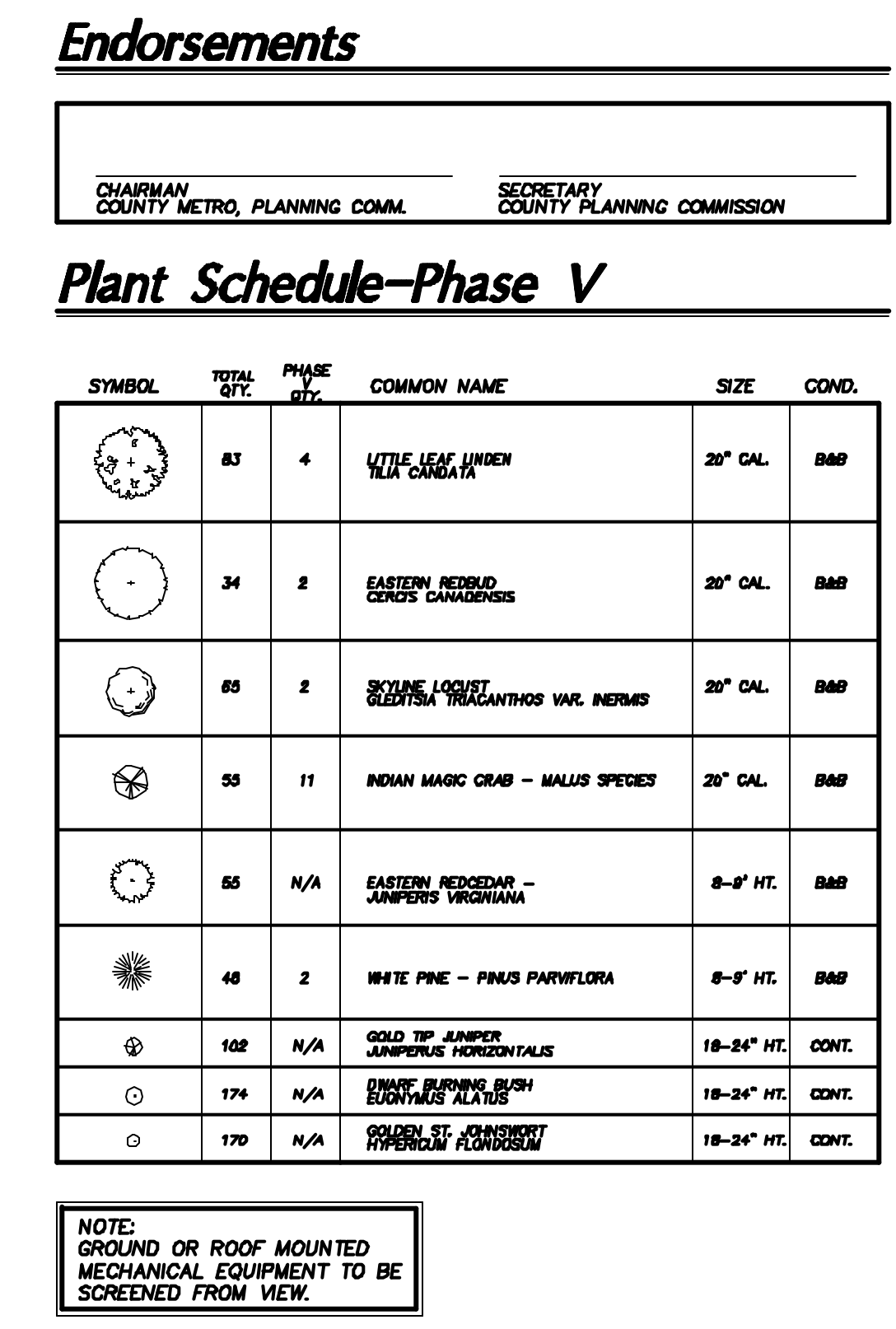




Date: JAN. 05, 2005
Project No.: 2004, 402
Drawn By: EMY/BRM
Checked By: CLM
Sheet No. 1 of 3 Sheets

TABLE OF RESTRICTED USES BY DEVELOPMENT PHASE
CITY ORDINANCE # 72852-05-03-30, PUBLISHED NOVEMBER 27, 2000

Phase 1: Department Store or Variety Store
Foot store, including accessory

■ From Use Group 12

Phase 2: Any use in Use Group 4; 7; 9; 11 and
and
Uses in Use Group 12 with the exception of:
Liquor dispensing, winery, 5-6, specialty retail of
products from food and beverage food sales.
Post Office
Transfer, labor commercial

Uses in Use Group 13 with the exception of:

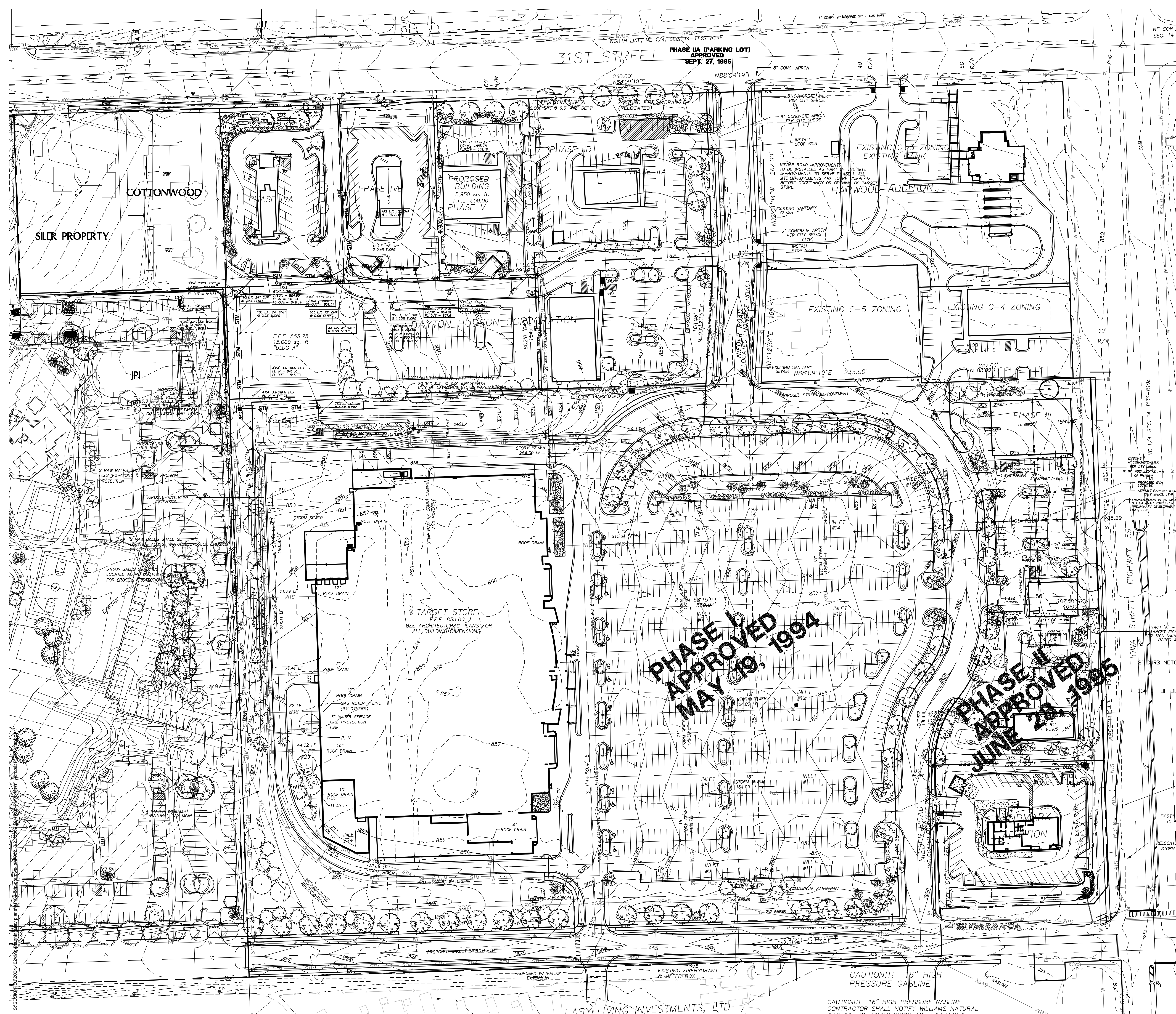
Aircraft sales, rental, service
Amusement park, commercial
Automotive parking garage
Automotive parts store, tires and accessories
Automobile repair and service
Automotive sales, service, rental new or used
Automotive service station
Basketball park, commercial
Bike and horse sales and accessories
Bicycle repair and service
Bus passenger station
Business machine rental, repair, sales
Curling, curling, express, housing, moving & storage
Furniture, paint
Garage or parking for commercial or public utility vehicle
Grocery, driving range, commercial
Liquids, flammable, underground storage of
Log, sawing, sales
Mobile homes, sales & service
Nonferrous sales, including industrial processing
Hotel
Lumbering pool, commercial
Lumbering pool, commercial
Trailer sales & rental
Truck, vehicle storage and servicing
Truck, rental and sales

No uses in Use Group 14
Uses in Use Group 15 with the exception of:
Automobile
Basketball park
Bus passenger station
Bus driving range or putting greens, commercial
Bicycle parts
Bike track
Clubhouse or amphitheater

Phase 3: Same restrictions as phase 2 with the exception of no uses in Use Group 4

Phase 4: Same as Use Group 4, except:
Use of Group 5 Zoning
Approved by Board of Planning Commission

CITY ORDINANCE # 72852-05-03-30, PUBLISHED NOVEMBER 27, 2000



Endorsements

CHAIRMAN
COUNTY METRO, PLANNING COMM. SECRETARY
COUNTY PLANNING COMMISSION

Detention Calculations

DETENTION CALCULATIONS (PHASE I ONLY):

	ACRES	PERCENT	COEF.	"c"
BUILDING	3.72	21.2	.90	0.1808
PAVEMENT	8.03	51.4	.85	0.4389
TURF	4.82	27.4	.20	0.0548
	12.57	100.0		0.6225

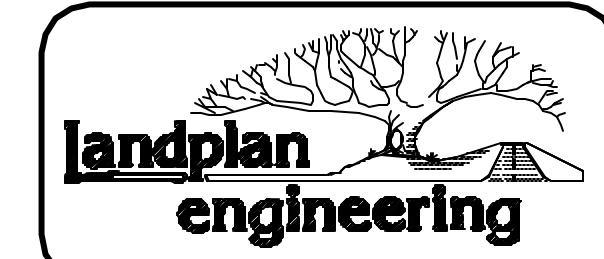
REQUIRED VOLUME DETAINED: $(.8828 - .3)(8.08)(12.57) = 40.88 \text{ cfs}$
 $(40.88)(15.66) = 38.77 \text{ cfs}$

MAX. ALLOWABLE RELEASE RATE:
DETENTION PROVIDED:
DETENTION AREA: 20,000 S.F. @ 3" AVG. DEPTH = 80,000 cfs

MAX. ALLOWABLE RELEASE RATE:
ACTUAL RELEASE RATE
DISCHARGE RESTRICTION OF PIPE (FLOWING FULL) 75" L.F. 18" CMP @ 3.0% 10.0 CFS

Legend

- LP LIGHT POLE
- F.H. FIRE HYDRANT
- CI CURB INLET
- AO AREA INLET
- CO CLEAN OUT
- 154.00 LF STORM SEWER PIPE
- MH SANITARY SEWER MANHOLE



- Landscape Architecture
- Civil Engineering
- Community Planning
- Surveying

1310 Wakarusa Dr., Ste. 100
Lawrence, Kansas 66049
TEL (913)843-7630
FAX (913)843-2410

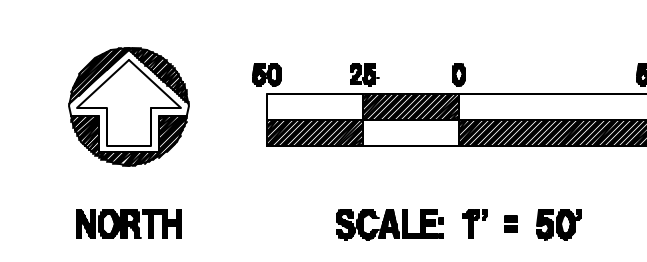
4049 Pennsylvania Ave., Ste. 205
Kansas City, Missouri 64111
TEL (816)931-4482
FAX (816)931-4213

Revised
Preliminary
Development
Target PCD
Lawrence, Kansas

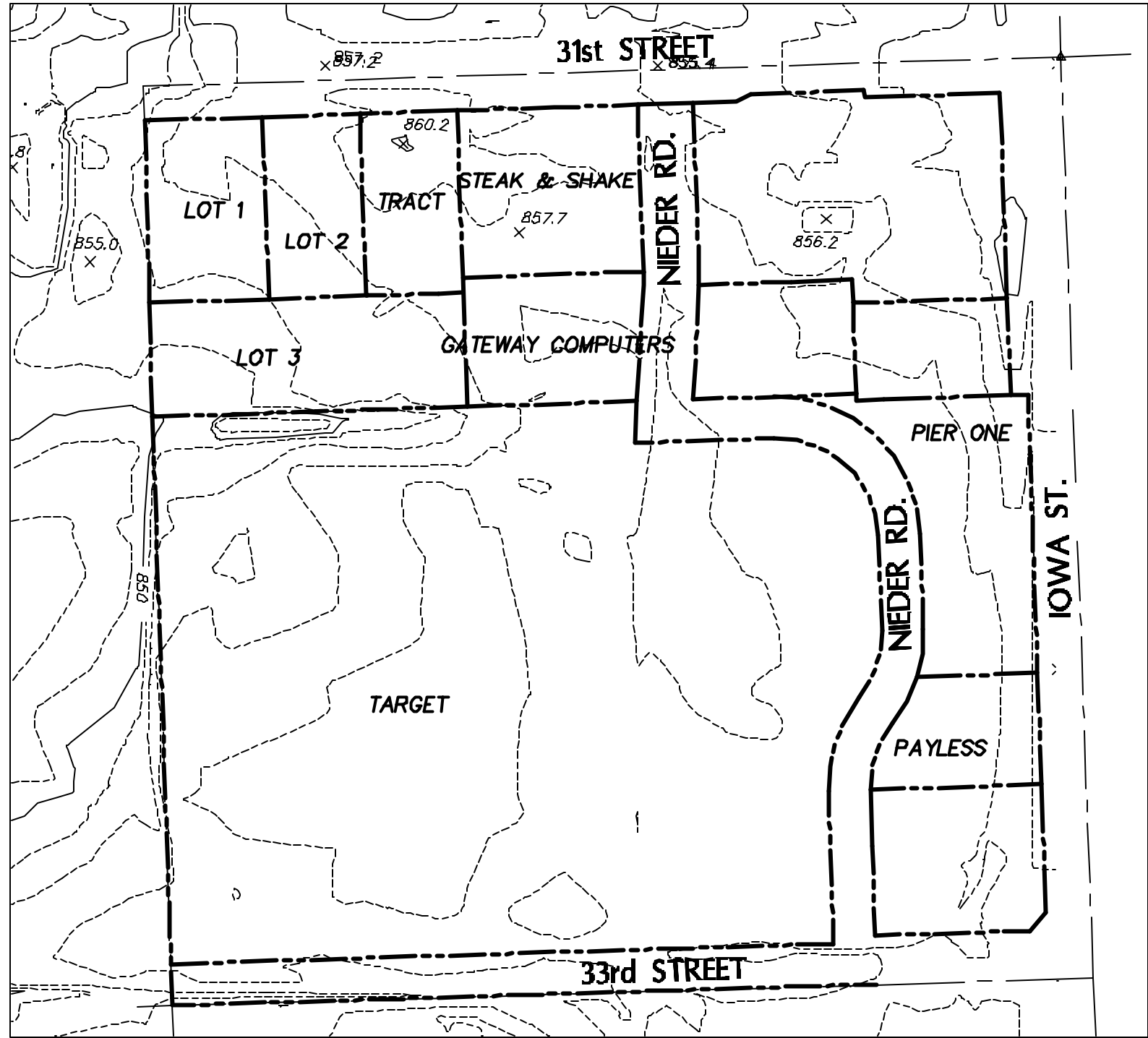
Grading & Drainage Phase V

REVISIONS
03/08/05 PLANNING COMMENTS
03/16/05 PLANNING COMMENTS

Date: JAN. 05, 2005
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CAUTION!!! 16" HIGH PRESSURE GASLINE
CONTRACTOR SHALL NOTIFY WILLIAMS NATURAL



AREA TOPOGRAPHY

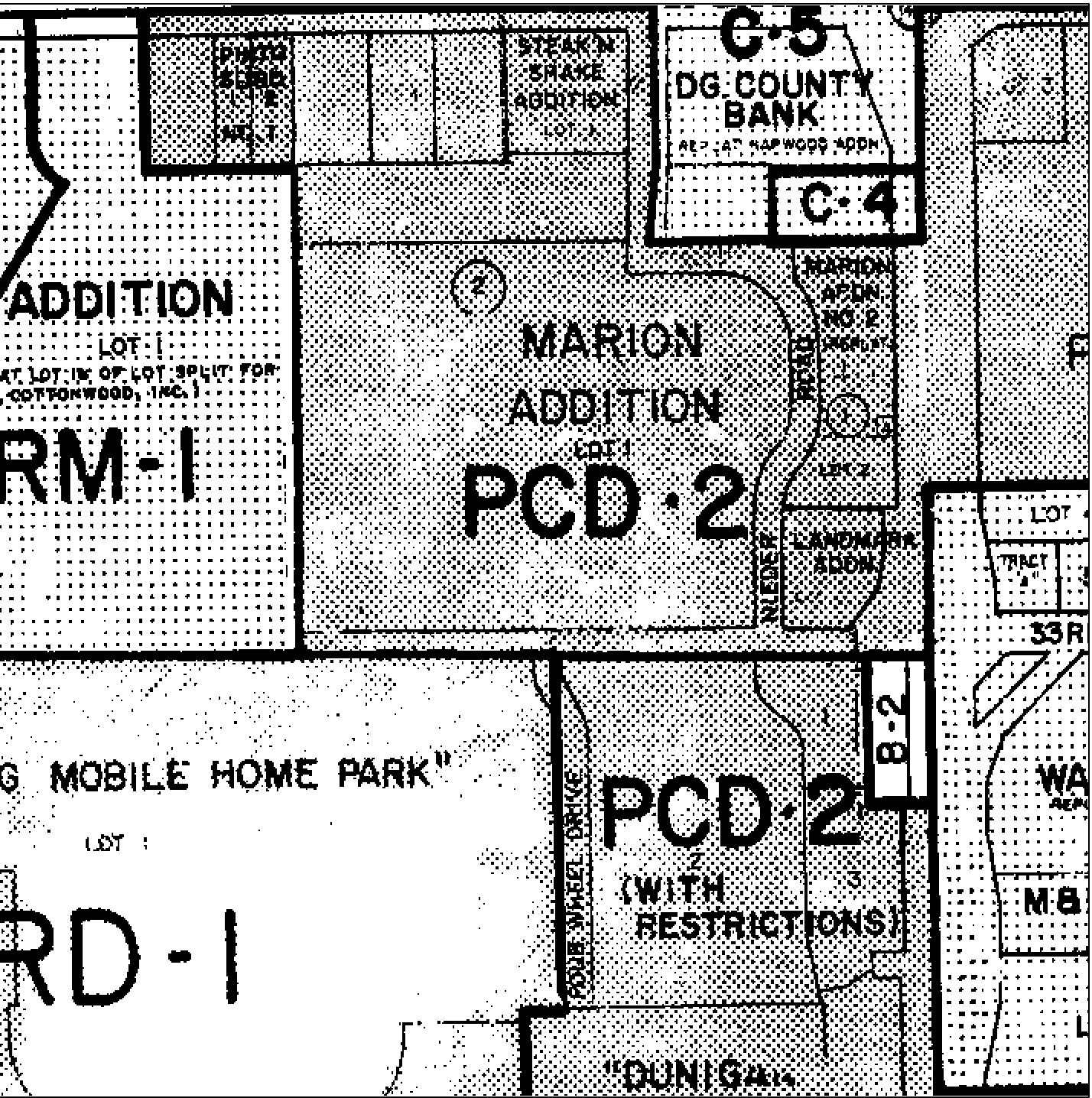
LEGAL DESCRIPTION (TOTAL PCD)

COMMENCING FROM THE NORTHEAST CORNER OF THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 19 EAST OF THE SIXTH PRINCIPAL MERIDIAN, THENCE COMMENCING SOUTH ALONG THE EAST LINE OF SAID SECTION AN APPROXIMATE DISTANCE OF 490.00 FEET TO THE POINT OF BEGINNING, THENCE WEST AN APPROXIMATE DISTANCE OF 322.00 FEET; THENCE NORTH AN APPROXIMATE DISTANCE OF 15 FEET; THENCE WEST ALONG AN APPROXIMATE DISTANCE OF 262.00 FEET; THENCE NORTH ALONG THE CENTER LINE OF NIEDER ROAD AN APPROXIMATE DISTANCE OF 473.00 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION, THENCE WEST ALONG SAID NORTH LINE OF SAID QUARTER SECTION AN APPROXIMATE DISTANCE OF 310.00 FEET; THENCE SOUTH AN APPROXIMATE DISTANCE OF 312.00 FEET; THENCE WEST AN APPROXIMATE DISTANCE OF 150.00 FEET; THENCE NORTH AN APPROXIMATE DISTANCE OF 312.00 FEET TO THE NORTH LINE OF SAID SECTION, THENCE WEST ALONG SAID NORTH LINE OF SAID QUARTER SECTION AN APPROXIMATE DISTANCE OF 320.00 FEET, WHICH IS A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID NORTHEAST QUARTER OF SECTION 14, THENCE SOUTH ALONG SAID LINE AN APPROXIMATE DISTANCE OF 1312.00 FEET TO THE SOUTH LINE OF SAID QUARTER OF SAID QUARTER; THENCE EAST ALONG SAID LINE AN APPROXIMATE DISTANCE OF 1020.00 FEET; THENCE NORTH AN APPROXIMATE DISTANCE OF 278.00 FEET; THENCE EAST TO THE EAST LINE OF SAID SECTION AN APPROXIMATE DISTANCE OF 320.00 FEET; THENCE NORTH ALONG SAID EAST LINE OF SAID QUARTER SECTION AN APPROXIMATE DISTANCE OF 555.00 FEET TO THE POINT OF BEGINNING, THE ABOVE CONTAINING 29.00 ACRES, MORE OR LESS, ALL IN LAWRENCE, DOUGLAS COUNTY, KANSAS.

LEGAL DESCRIPTION (Phase V)

A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 19 EAST OF THE SIXTH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH SECTION LINE 872 FT WEST OF NORTHEAST CORNER, OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 THENCE SOUTH 312 FT; THENCE WEST 140 FT; THENCE NORTH 312 FT TO THE NORTH LINE OF SAID SECTION; THENCE EAST 140 FT TO THE POINT OF BEGINNING, CONTAINING



ADJACENT ZONING

PHASE V PROPERTY OWNER OF RECORD

GEORGE KRITOS, 2221 W 31ST LAWRENCE, KANSAS, 66049

DEVELOPMENT SCHEDULE

PHASE	UNITS	TIME	GROSS AREA	**PUBLIC ROW	BUILDING COVERAGE	OPEN SPACE	PAVEMENT	REVISION APPROVAL DATES
PHASE I TARGET STORE BLDG. ADDITION	1	CONST BEGINS AUG '94 STORE OPENS OCT. '95 CONSTRUCTED	23,712 AC	3.74 AC	3.74 AC 3.84 AC	7.10 AC	9.032 AC	MAY 19,1994 REV. MAR. 18,1999
PHASE II PAYLESS SHOESOURCE	1	1995 CONSTRUCTED	0.80 AC	0 AC	0.08 AC	0.49 AC	0.23 AC	JUNE 28,1995
REVISED PHASE II A STEAK & SHAKE PARKING LOT	1	1995 - 1996	1.443 AC	0 AC	0.08 AC	0.373 AC	0.99 AC	APRIL, 1998
REVISED PHASE II B GATEWAY COMPUTER PARKING LOT	1	1995 - 1996	1.081 AC	0 AC	0.18 AC	0.35 AC	0.55 AC	MAY, 2000
PHASE III PIER ONE & COMMERCIAL PAD SITE	1	1987 - 1989	1.57 AC	0 AC	0.30 AC	0.66 AC	0.61 AC	JAN, 1999
PHASE IV A PHASE IV B	3	1999 - 2002	3.59 ac	0 AC	0.60 AC	1.47 AC	2.34 AC	APRIL 2000 (PC)
PHASE V	2	2005	84 ac	0 AC	0.14 AC	0.26 AC	0.44 AC	

* PHASE IIA & PHASE IIB IN THE FALL OF 1998 TWO PARKING LOTS WERE CONSTRUCTED. NO BUILDING DURING THE CONSTRUCTION OF STEAK N' SHAKE THE PARKING LOT FOR PHASE IIA WAS REMOVED & RECONSTRUCTED PHASE IIB PARKING REMAINS THE SAME AND IS TO BE USED FOR THE GATEWAY STORE.
** ALL PUBLIC RIGHT-OF-WAY PROVIDED DURING PHASE ONE OF TARGET, INCLUDES NIEDER ROAD & 31st STREET.

Retail Building (Phase V)

Lot 1 (Vacant)	Area (Sq. Ft.)	Proposed Building Phase V	Area
Existing Buildings	0	Proposed Buildings	5,950
Existing Pavement	0	Proposed Pavement	19,262
Existing Impervious	0	Proposed Impervious	Subtotal 25,212
Existing Pervious	36,680	Proposed Pervious	11,468
Property Area	36,680		36,680

Open Space Required:
20% of total lot area
20+36,680 s.f. = 7,336 s.f.
Open Space Provided
11,468 s.f.

GENERAL NOTES

- EXISTING ZONING: PCD-2
- CURRENT USE OF PHASE V: RESIDENTIAL LOT/VACANT LOT
- PROPOSED USE: RETAIL FACILITY
- WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED
- TOPOGRAPHIC INFORMATION BY M.J. HARDEN, FLOWN 2001. CONTOUR INTERVAL IS 1 (ONE) FOOT.
- PRIVATE DRIVES AND PARKING AREAS TO BE PER CITY OF LAWRENCE STANDARDS. ALL STREETS AND PARKING AREAS TO HAVE 24" CURB AND GUTTER. ALL STANDARD PARKING SPACES TO BE MIN 9' WIDE AND 18' LONG. ALL HANDICAP STALLS TO BE MIN. 13' WIDE AND 18' LONG. PAINTED WITH CITY OF LAWRENCE STANDARD HANDICAP SYMBOL. ALL PERIMETER STANDARD PARKING SPACES TO BE 9' WIDE AND 16.5' LONG.
- CITY OF LAWRENCE WILL NOT BE RESPONSIBLE FOR PAVEMENT DAMAGE DUE TO REFUSE COLLECTION.
- A DETAILED LIGHTING PLAN SHALL BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN. ALL PUBLIC UTILITIES AND IMPROVEMENTS TO BE PROVIDED THROUGH PRIVATE FINANCING AND TO BE GUARANTEED OR INSTALLED BY OWNERS/DEVELOPERS. (PHASE I - IV)
- THE DEVELOPER/OWNERS HEREBY DEDICATE TO THE CITY OF LAWRENCE THE RIGHT TO REGULATE CONSTRUCTION OVER THE AREA DESIGNATED AS COMMON OPEN SPACE, OPEN AIR RECREATION AREA, AND NON-ENCRUSTABLE AREA AND TO PROHIBIT ANY CONSTRUCTION WITHIN SAID AREAS AND SPACES INCONSISTENT WITH THE APPROVED USE OR ENJOYMENT OF RESIDENTS, LESSEES AND OWNERS OF THE PLANNED UNIT DEVELOPMENT.
- ALL HANDICAP PARKING SHALL MEET CURRENT CITY OF LAWRENCE ADA STANDARDS.

ORIGINAL SITE SUMMARY

- EXISTING ZONING: A
- PROPOSED ZONING: PCD-2
- EXISTING USE: RESIDENTIAL AND UNDEVELOPED
- PROPOSED USE: TARGET RETAIL STORE AND COMMERCIAL / OFFICE DEVELOPMENT
- BUILDING AND PARKING TABLE:

PHASES	GROSS BLDG. AREA	NET BLDG. AREA	PARKING REQUIRED	PARKING PROVIDED	PARKING RATIO PROVIDED STALLS/1,000 GSF	ACCESS REQUIRED	ACCESS PROVIDED	BICYCLE REQUIRED	BICYCLE PROVIDED
PHASE I TARGET STORE	162,000 GSF	129,600 NSF (80%)	648	891	5.5	18	18	5	10
PHASE I I *	18,600 GSF	13,950 NSF (75%)	70	123	6.6	5	5	5	5
PHASE I I I *	11,100 GSF	8,325 NSF (75%)	42	122	11.0	5	5	5	5
PHASE IV *	30,000 GSF	22,500 NSF (75%)	113	192	6.4	6	6	5	5

* NOTE: SEE PRELIMINARY DEVELOPMENT PLAN (DATED MAY 19, 1994) FOR PHASE II, III, IV UPDATE

REVISED SITE SUMMARY:

- EXISTING USE: TARGET (PHASE I), PAYLESS (PHASE II), STEAK & SHAKE (PHASE IIA), PARKING LOT (PHASE IIB), SONIC DRIVE-IN (PHASE IV)
- BUILDING AND PARKING TABLE:

PHASE	GROSS BLDG. AREA	NET BLDG. AREA	PARKING REQUIRED	PARKING PROVIDED	ACCESS REQUIRED	BICYCLE REQUIRED	BICYCLE PROVIDED	APPROVAL DATE PRELIM. DEV. PLAN
PHASE I TARGET STORE BLDG. ADDITION	167,547 GSF	134,038 NSF (80%)	648 891	891	18	5	10	AUG. 1994
PHASE II PAYLESS SHOESOURCE	3,590 GSF	2,693 NSF (75%)	14	18	1	5	5	MAR. 1994
REVISED PHASE II A STEAK & SHAKE PARKING LOT	3,702 GSF	2,777 NSF (75%)	14	57	3	0	0	APR. 1998
REVISED PHASE II B GATEWAY COMPUTER PARKING LOT	8,000 GSF	6,000 NSF (75%)	30	55	3	6	6	MAY, 2000
TOTAL =	15,292 GSF	7,020 NSF	58	130	7	11	11	
PHASE III PIER ONE & COMMERCIAL PAD SITE	9,360 SF 3,500 SF	2,625 NSF (75%)	13	15	3	5	6	JAN. 1999
TOTAL =	12,860 GSF		35	51	3	5	6	
PHASE IV BLDG A BACKYARD BURGER (PHASE IIB) SONIC (PHASE IVA)	15,000 2,904 1,523	10,500 2,178 1,066	56 11 5	62 36 35		5 6 6	6	JULY 2001
TOTAL =	18,427 GSF	13,744 NSF	72	133	4	13	18	
PHASE V	5,950 GSF	4,462 NSF (75%)	22	40	2	5	6	Pending
TOTAL FOR ALL PHASES	221,862 GSF	161,889 NSF	857	1245	34	39	51	

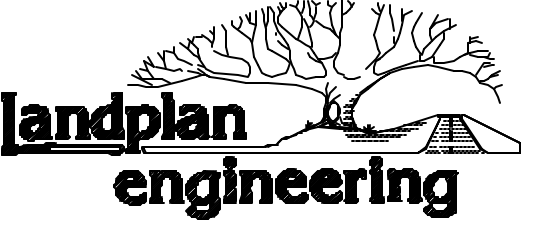
LANDPLANNERS / ENGINEERS

LANDPLAN ENGINEERING, P.A.
1310 WAKARUSA DRIVE, SUITE 100
LAWRENCE, KANSAS 66049

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Site
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TAKORD

SECTION A-A'

SCALE: 1" = 50' - 0"

SECTION B-B'

SCALE: 1" = 50' - 0"