

Memorandum

City of Lawrence

Planning & Development Services

TO: David L. Corliss, City Manager

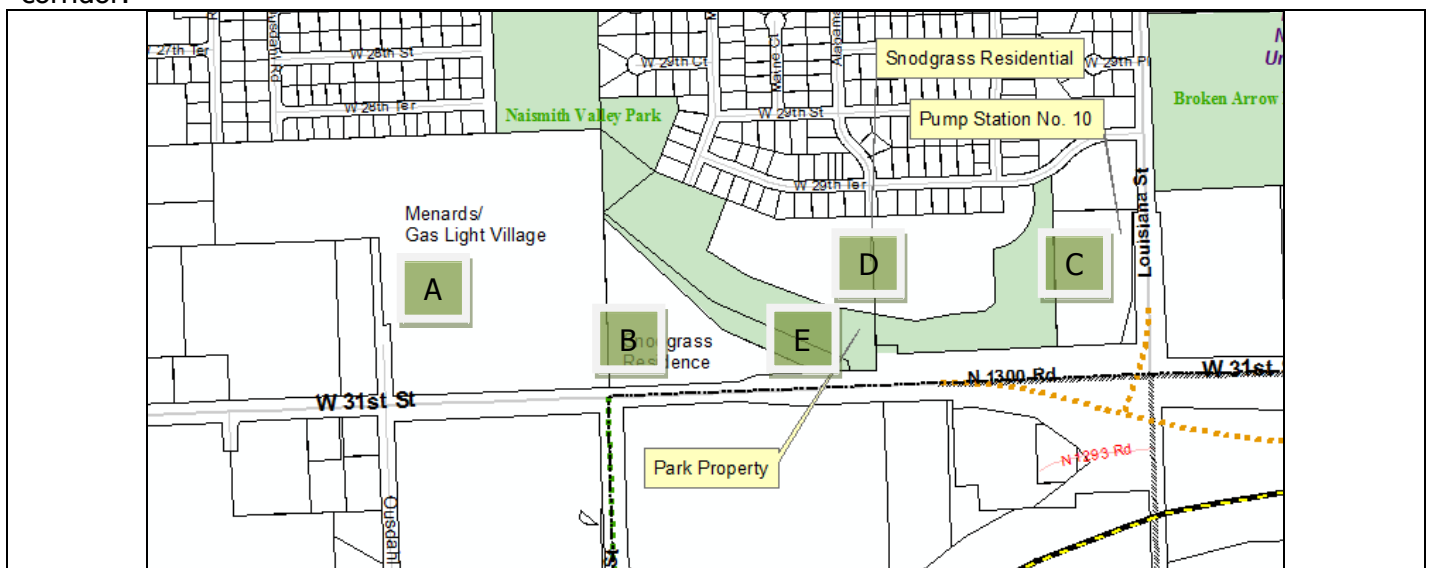
FROM: Planning Staff

CC: File

Date: January 23, 2014

RE: Status of Menards and Related land use approvals

The following reflects the status of recent property development applications along the W. 31st Street corridor.



| Map Reference | Description | Landuse Applications | | |
|---------------|--|--|---|--|
| | | Approved | In Process | Required before permitting |
| A | Original Menards Request | <ul style="list-style-type: none"> Comprehensive Plan Amendment Rezoning Menards Preliminary Plat | <ul style="list-style-type: none"> Public improvement Plans Site Plan Commercial Design Review | <ul style="list-style-type: none"> Final Plat |
| B | Snodgrass Residence – Added to Menards Development | <ul style="list-style-type: none"> Comprehensive Plan Amendment Annexation Rezoning Menards Preliminary Plat | <ul style="list-style-type: none"> Public improvement Plans | <ul style="list-style-type: none"> Site Plan Final Plat |
| C | Pump Station 10 | <ul style="list-style-type: none"> Annexation Rezoning Preliminary Plat | <ul style="list-style-type: none"> Final Plat | <ul style="list-style-type: none"> Public improvement Plans Special Use Permit |
| D | Snodgrass Residential Development (future subdivision development) | <ul style="list-style-type: none"> Annexation Rezoning | None | <ul style="list-style-type: none"> Preliminary Plat Final Plat Public Improvement Plans |
| E | Naismith Valley Park Extension | <ul style="list-style-type: none"> Annexation Rezoning | None | <ul style="list-style-type: none"> Site plan if future improvements are proposed |

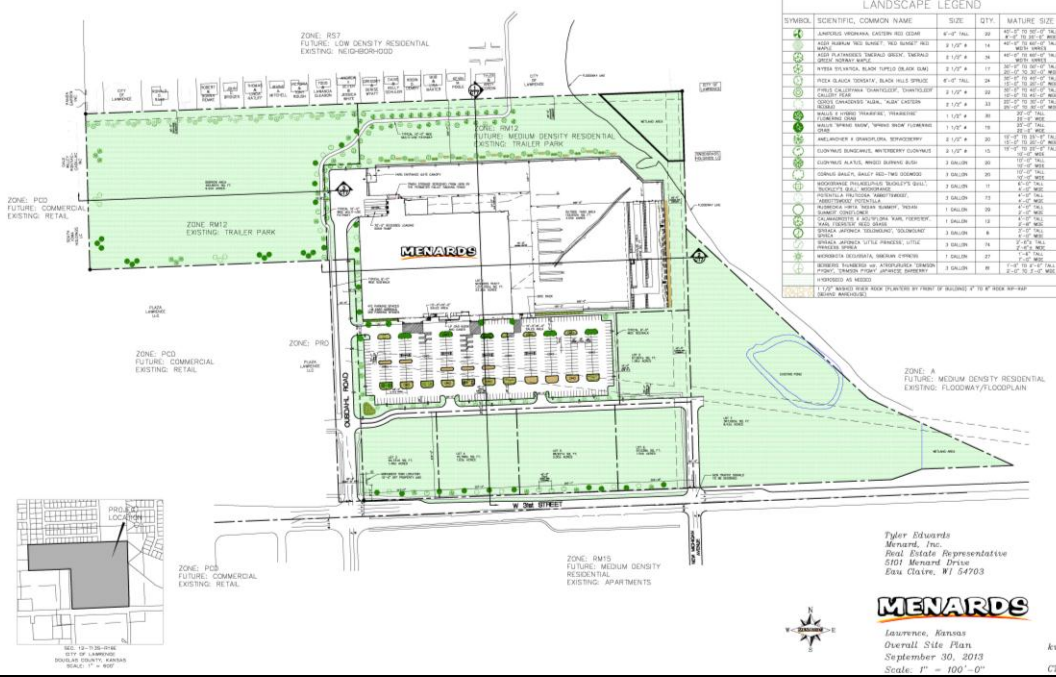
Menards Project Summary

Since the original submission during the Comprehensive Plan and Rezoning application process, the design of the property has been revised by the applicant.

- Building orientation:
 - The Menards Lot was conceptually considered as the main big box tenant within the development and all surrounding pad sites would be substantially smaller consistent with the out lot development pattern along W. 31st Street to the west. The revised plan relocated the outdoor area to the west side of the property.
 - The warehouse originally located on the east side of the site has been relocated to abut the north (rear) property line.
- Size of outdoor sales area:
 - The exterior yard area included 90,626 SF (2.08 Acres) acres on the east side of the property in the original concept plans.
 - The revised plan reduced the size and relocated the exterior yard area to the west side of the building and includes 40,608 SF (.9 Acres)
- Access to building/interior access drive:
 - The main east west access drive shifted moderately along the rear of the lots abutting W. 31st Street. The significant change is the orientation of Ousdahl Road that was in the concept plan extended to the north. In the revised plan, the extension terminates must north of the 4-way interior intersection of the main access drive.
 - Yard access is shifted from Ousdahl Road on the west to an interior access on the east between the new lots 1 and 2 requiring more turn movements within the site for large vehicles.
- Design of Proposed Lot 2 (adjacent to east of Menards store)
 - Lot 2 included in in the original concept plan was shown as a 1.56 acre lot. The revised Plan shows Lot 2 as 4.79. Lot 2 in the revised plan is encumbered by regulatory floodplain and the concept plan notes that the building area of the total lot is 2.98 acres.

The Menards project (Subdivision Plats and Site Plan for Lot 1, Menards site) is still under review and may have result in additional site changes.

Original Submission – Overall Site Plan

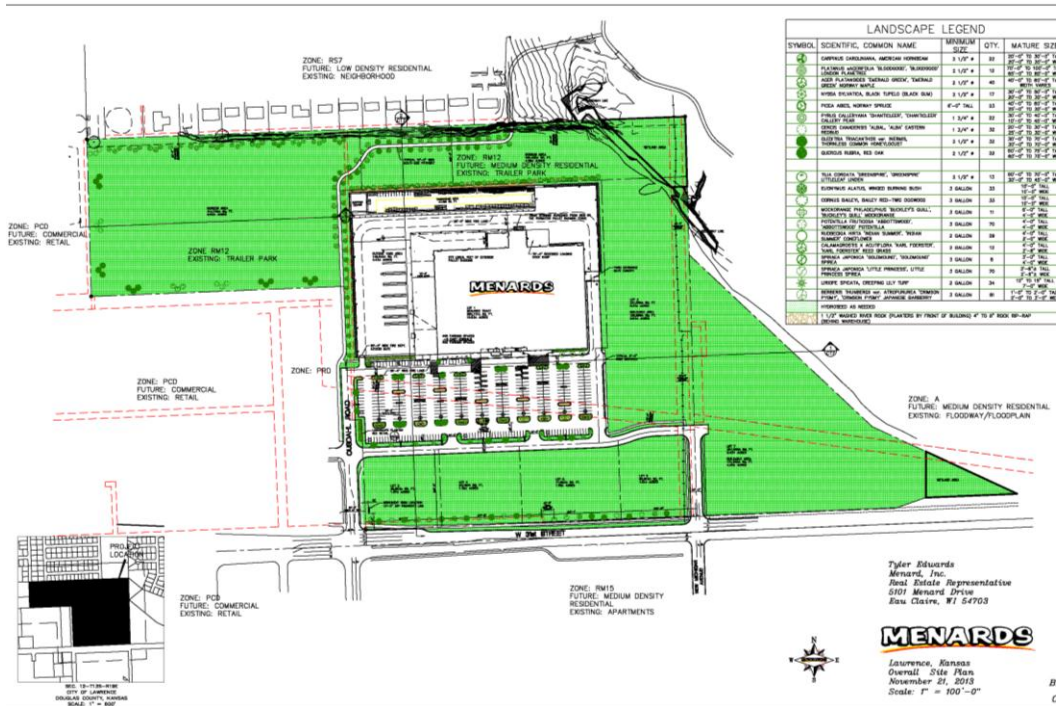


Site Summary

9.24 AC borrow
area/detention
Lot 1 – Menards 23.3 AC
Lot 2 – pad site 1.36 AC
Lot 3 – pad site 1.49 AC
Lot 4 – pad site 1.65 AC
Lot 5 – pad site 2.00 AC
Lot 6 – pad site 1.54 AC
Lot 7 – pad site 8.4 AC

Ousdahl Road extended to rear service drive of Menards as 80 ROW to north property line of Home Depot property, private access drive remainder

Revised Submission – Overall Site Plan



Site Summary

9.52 AC borrow
area/detention
Lot 1 – Menards 15.6 AC
Lot 2 – pad site 5.3 AC
Lot 3 – pad site 1.37 AC
Lot 4 – pad site 1.45 AC
Lot 5 – pad site 1.76 AC
Lot 6 – pad site 1.51 AC
Lot 7 – pad site 8.4 AC

Ousdahl Road extended as 80 ROW north of 4-way intersection. Shared public street and access easement north of 4-way intersection to front of Menards store access drive.

